

FUTURE STAGE 42

ROAD NAME	RESERVE WIDTH (m)	ROAD WIDTH (m)			VERGE WIDTH (m)	
		LIP to LIP	INV to INV	BACK to BACK	NORTHWEST	SOUTHEAST
GIPPSLAND AVENUE	14.50	6.40	7.30	7.60	4.35	2.55
SUNBURNT CIRCUIT	20.00	6.40	7.30	7.60	4.35	8.05
MARQUESS CRESCENT	16.00	6.40	7.30	7.60	4.35	4.05
WARING CLOSE	12.00	2.90	-	3.50	4.50	4.00
BAT CLOSE	12.00	2.90	-	3.50	4.50	4.00

SERVICE OFFSET TABLE

Location		Gas		ND - Water		Water		Electricity		Telecommunication		Sewer	
		Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)
SUNBURNT CIRCUIT	NW	2.25	N/W	2.70	N/W	3.20	S/E	2.60	S/E	1.85	N/E/SW	1.00	
GIPPSLAND AVENUE	NW	1.90	N/W	2.35	N/W	2.85	S/E	2.60	S/E	1.85	N/W	1.00	
MARQUESS CRESCENT	NW	2.25	N/W	2.70	N/W	3.20	S/E	2.60	S/E	1.85	N/E/SW	1.00	

NOTE: STREET TREES ARE TO BE PLANTED IN THE CENTRE OF ALL NATURE STRIPS

LEGEND

- STORMWATER DRAIN, PIT & PROPERTY INLET
- MELBOURNE WATER DRAIN & PIT
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- SERVICE CONDUITS
- TACTILE PAVERS (INDICATIVE ONLY)
- ELECTRICITY (UNDERGROUND)
- ELECTRICITY (OVERHEAD)
- OPTIC FIBRE
- TELECOMMUNICATIONS
- GAS
- WATER
- RECYCLED WATER
- IRRIGATION
- EXISTING ELECTRICITY (UNDERGROUND)
- EXISTING ELECTRICITY (OVERHEAD)
- EXISTING GAS
- EXISTING OPTIC FIBRE
- EXISTING TELECOMMUNICATIONS
- EXISTING WATER
- EXISTING RECYCLED WATER
- EXISTING STORMWATER DRAIN
- EXISTING SEWER
- EXISTING HOUSE DRAIN
- EXISTING SWALE DRAIN
- EXISTING SURFACE LEVEL
- FINISHED BUILDING LINE LEVEL
- FINISHED RIDGE LINE LEVEL
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- RIDGE LINE
- CONCRETE SLEEPER RETAINING WALL
- ROCK RETAINING WALL
- ZERO LOT LINES
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX. STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FILL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FILL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- PROPOSED DRIVEWAY
- TREE PROTECTION ZONE (TPZ)
- LOT HATCHING
- PAVEMENT HATCHING
- PARK RESERVES/NATURE STRIP HATCHING
- ELECTRICAL KIOSK
- DRAINAGE RESERVE
- MAINTENANCE ACCESS TRACK
- DRY OUT AREA

- NOTES:**
- These plans are preliminary only and have not been approved by Council. They are subject to change without notice and have been provided as a guide only.
 - This plan must be read in conjunction with the Plan of Subdivision. If any discrepancies are identified between the two plans, the Plan of Subdivision takes precedence.
 - Proposed services and connection points shown are preliminary only and subject to authority advice and approval. Vehicle crossing locations shown are subject to Council approval.
 - Finished surface levels shown are preliminary only and may be subject to change during design and/or construction.
 - The depth of fill can be determined by calculating the depth between the existing and proposed finished surface levels.
 - Fill depths do not take into account any removal of topsoil, grubbing, or excavation associated with the construction of any temporary or permanent infrastructure within the subdivision.
 - The plan shows the indicative extent of fill greater than 200mm in depth. These extents may be subject to change during design and/or construction. Fill less than 200mm in depth is not shown on this plan.
 - The fill depth shown on this plan is for fill placed during construction of the subdivision whilst the site is under the control of Beveridge Williams & Co Pty Ltd. Beveridge Williams & Co Pty Ltd has no further knowledge or records of any other filling works throughout this subdivision, including prior to the survey being undertaken, or after the completion of construction.
 - Beveridge Williams & Co Pty Ltd will not be liable for any loss or damages incurred or suffered by any party due to the use of the plan or relying on the information contained within the plan.

WARNING
BWARE OF UNDERGROUND SERVICES
 The locations of underground services are approximate only and their exact position should be proven on site.
 No guarantee is given that all existing services are shown.
 Locate all underground services before commencement of works
DIAL 1100 BEFORE YOU DIG
 www.1100.com.au

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	LOT 4101 CROSSOVER AMENDED	30.06.22	BP	LM					
P4	HOUSE DRAINS FOR LOTS 4131 - 4141	10.03.22	LM	LM					
P3	LEVELS AMENDED FOR LOTS 4106-4107, 4158-4161	10.03.22	LM	LM					
P2	STREET NAMES ADDED FOR BAT CLOSE AND WARING COURT	14.02.22	YA	LM					
P1	ISSUED FOR INFORMATION	14.02.22	YA	LM					

SMITHS LANE
 CLYDE NORTH

SCALE 1:500 AT A1 SIZE

0 5 10 20 30 40

Designed By: Y.ALI-BAKHIT
 Date: 14.02.2022

Drawn By: Y.ALI-BAKHIT

Approved By: L.MURRAY
 Date: 14.02.2022

PS Number: PS904412M

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Project Details: SMITHS LANE STAGE 41 CITY OF CASEY

Drawing Title: MARKETING PLAN

Sheet 01 of 03

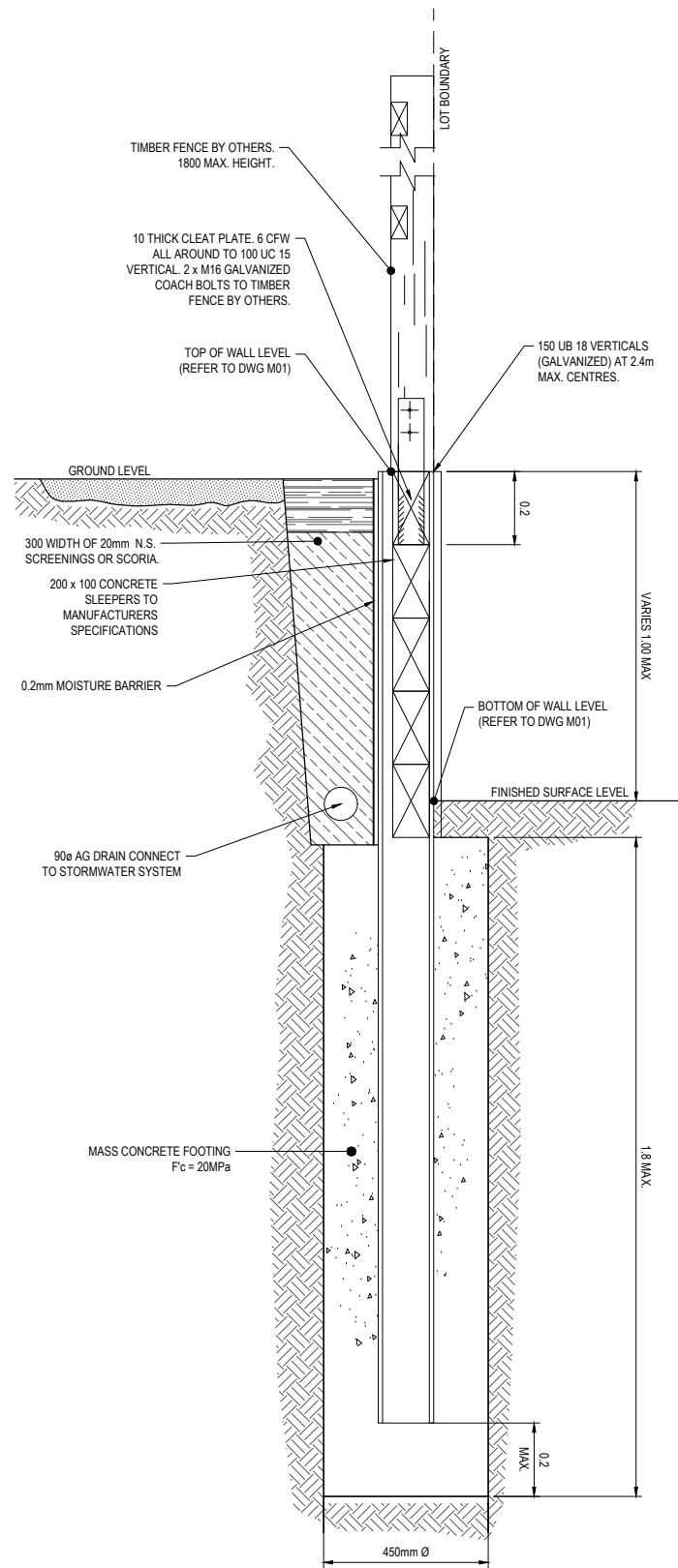
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Project Ref: 1101438
 Stage No: 41
 Drawing No: M01
 Rev: P5

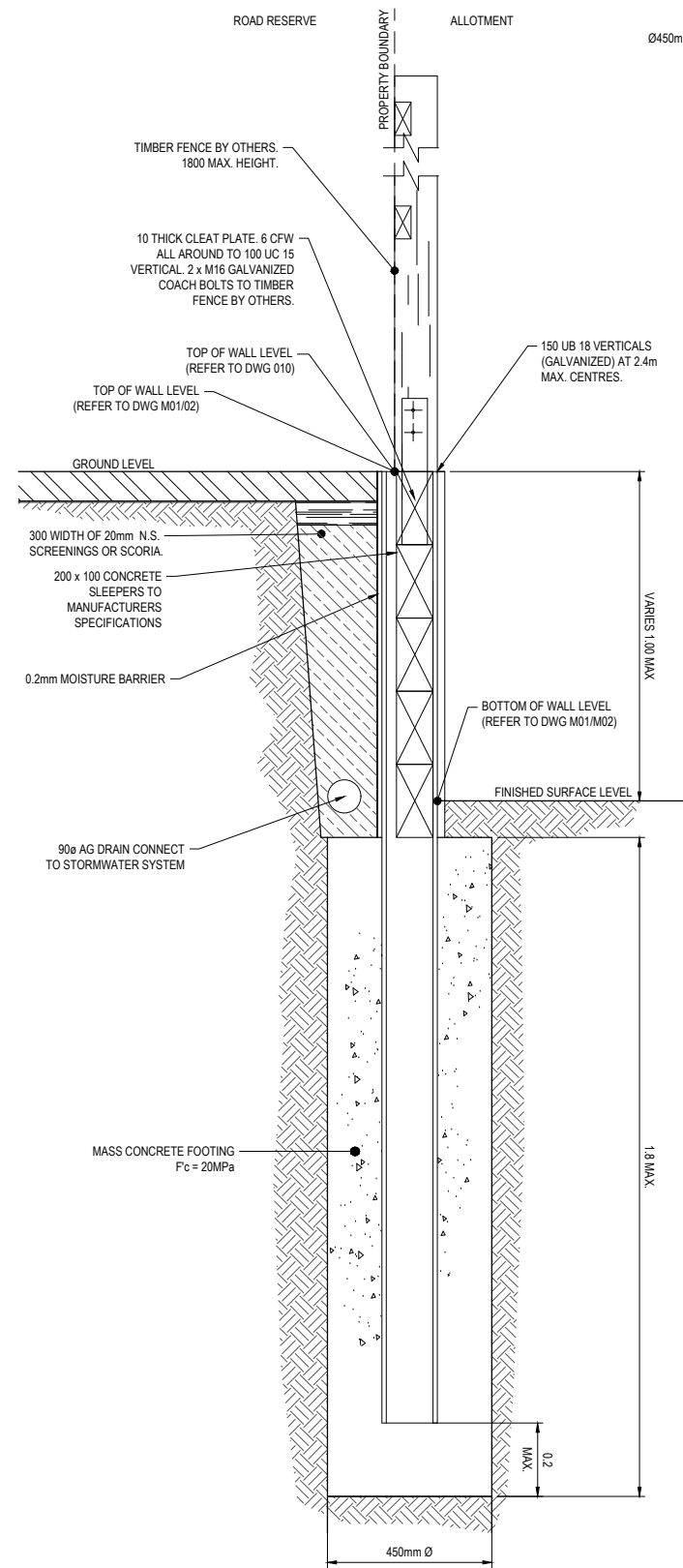
North Arrow

Project Ref: 1101438
 Stage No: 41
 Drawing No: M01
 Rev: P5

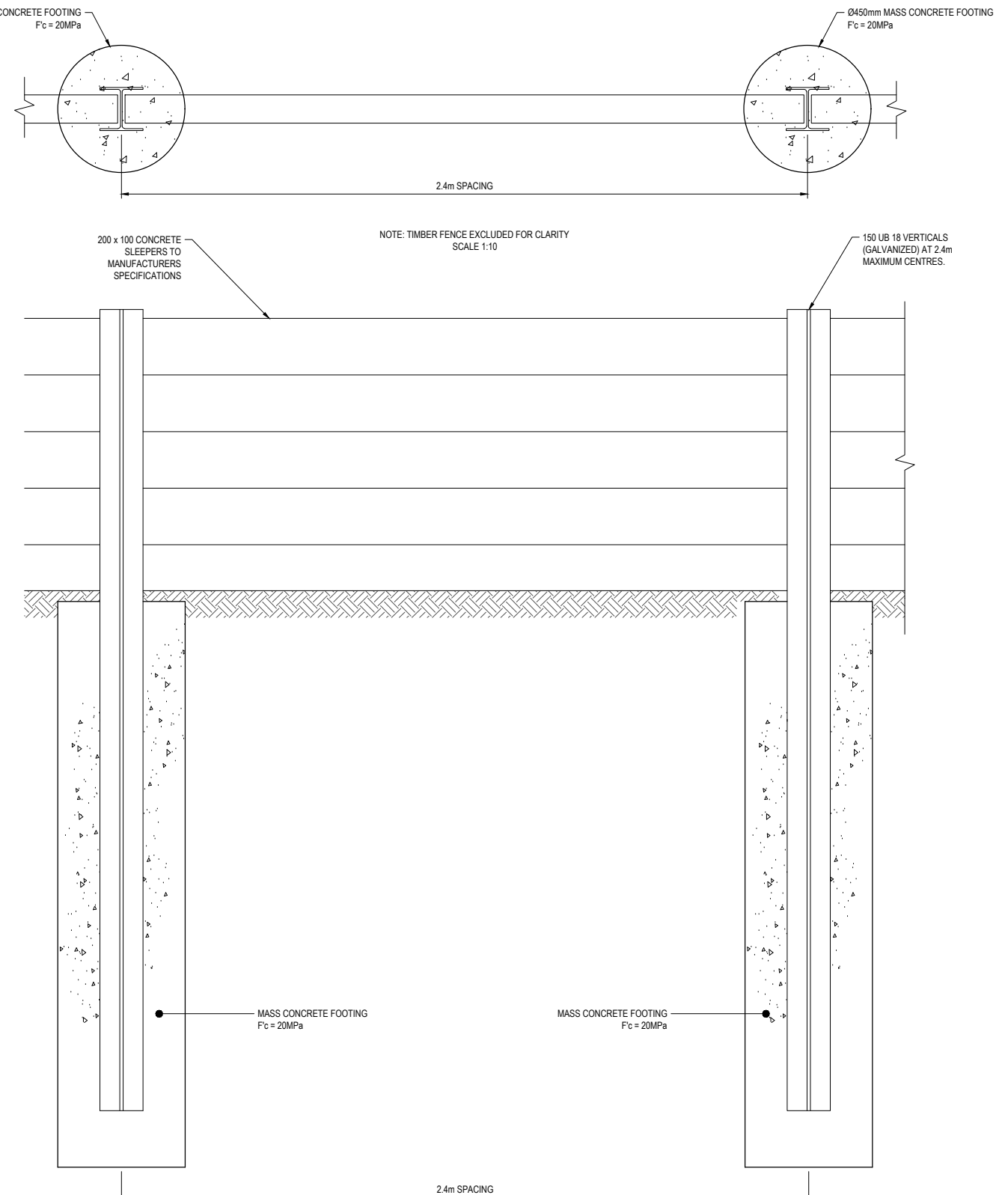
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RETAINING HEIGHT - 1000mm MAXIMUM
SCALE 1:10



RETAINING HEIGHT - 1000mm MAXIMUM
SCALE 1:10



RETAINING HEIGHT - 1000mm MAXIMUM
NOTE: TIMBER FENCE EXCLUDED FOR CLARITY
SCALE 1:10

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P2	RETAINING WALL ADJACENT ROAD RESERVE AMENDED	10.03.22	LM	LM					
P1	ISSUED FOR INFORMATION	14.02.22	YA	LM					

SMITHS LANE
CLYDE NORTH



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Date: 14.02.2022
Drawn By: Y.ALI-BAKHIT
Approved By: L.MURRAY
Date: 14.02.2022
PS Number: PS904412M

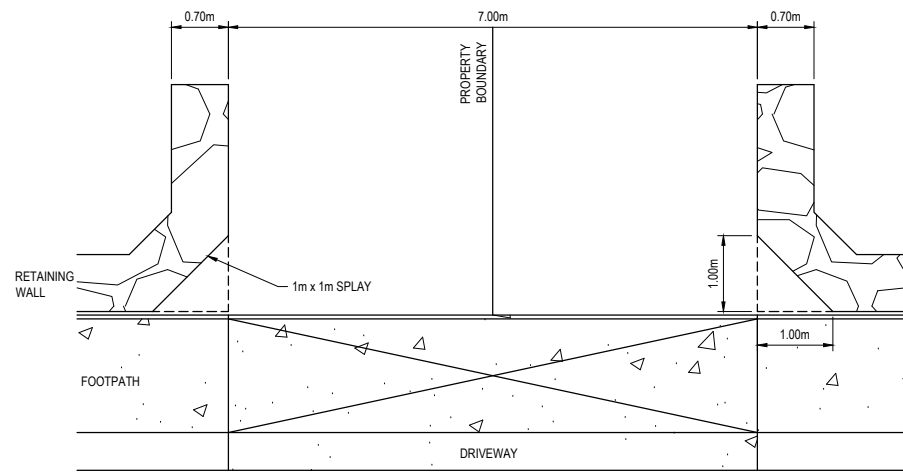
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Project Details: SMITHS LANE
STAGE 41
CITY OF CASEY
Drawing Title: CONCRETE RETAINING WALL DETAILS

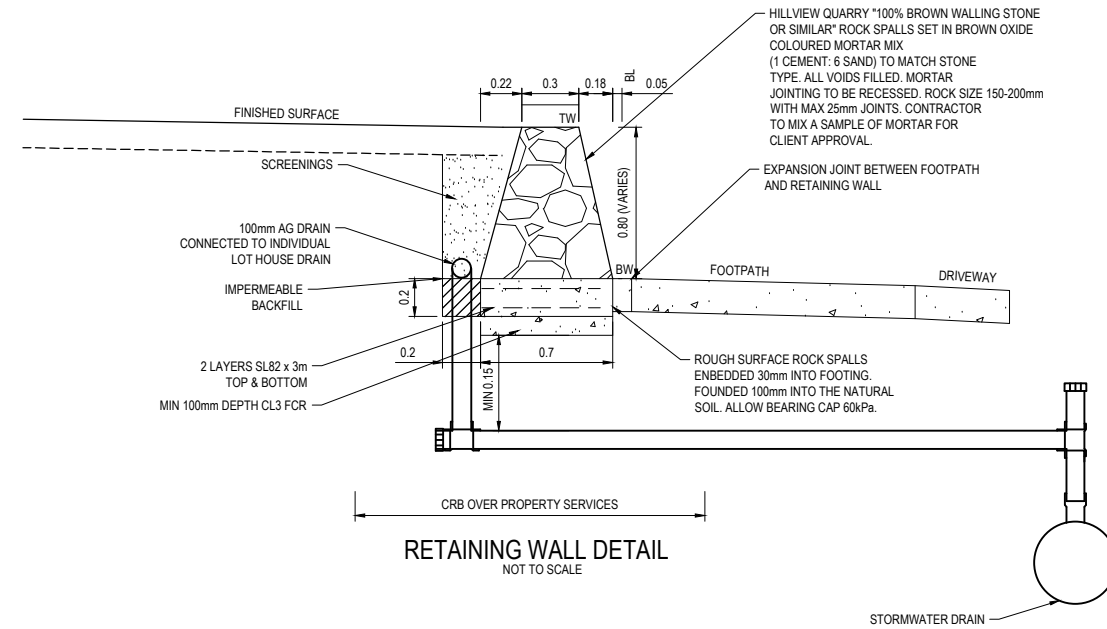
Sheet 02 of 03

Scale: AS SHOWN

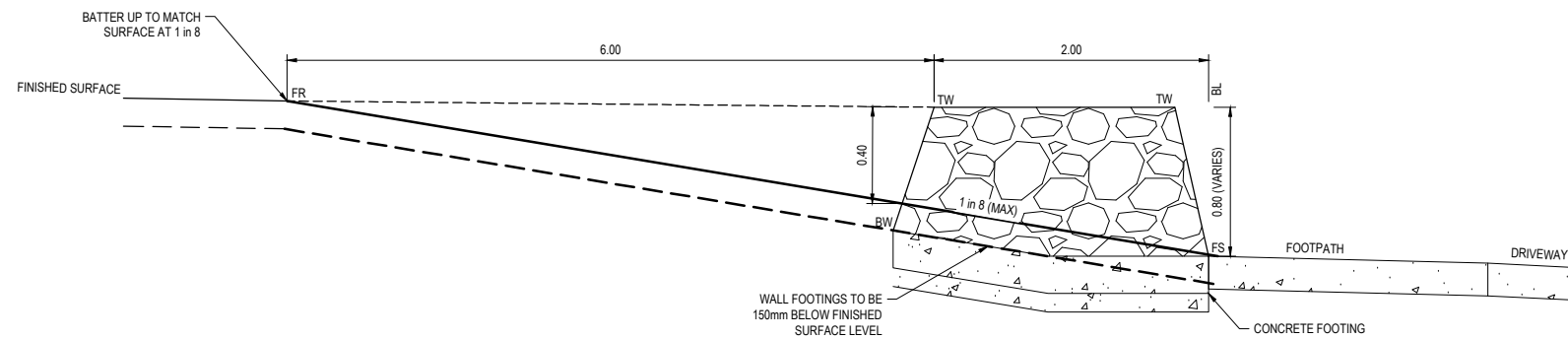
Project Ref: 1101438
Stage No: 41
Drawing No: M02
Rev: P2



RETAINING WALL PLAN VIEW
NOT TO SCALE



RETAINING WALL DETAIL
NOT TO SCALE



RETAINING WALL DRIVEWAY
ENTRANCES
NOT TO SCALE

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P1	ISSUED FOR INFORMATION	14.02.22	YA	LM					



Designed
Date
Y.ALI-BAKHIT
14.02.2022

Drawn
Y.ALI-BAKHIT

Approved
Date
L.MURRAY
14.02.2022

PS Number
PS904412M



Project
Details
SMITHS LANE
STAGE 41
CITY OF CASEY

Drawing
Title
ROCK RETAINING WALL DETAILS

Sheet 03 of 03

Scale
AS SHOWN

Project Ref
1101438

Stage No
41

Drawing No
M03

Rev
P1