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| PLAN OF SUBDIVISION | EDITION 1 | PS848721H |
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| LOCATION OF LAND | Council Name: Casey City Council SPEAR Reference Number: S175305E |
| PARISH: CRANBOURNE | |
| TOWNSHIP: — | |
| SECTION: PART OF CROWN SECTION 74 (KNOWN AS CARDINIA CREEK PRE-EMPTIVE RIGHT) | |
| CROWN ALLOTMENT: — | |
| TITLE REFERENCE: VOL.12432 FOL.617 | |
| LAST PLAN REFERENCE: PS848720K (LOT M) | |
| POSTAL ADDRESS: 70S SMITHS LANE (at time of subdivision) CLYDE NORTH 3978 | |
| MGA CO-ORDINATES: E: 359 420 ZONE: 55 (of approx centre of land in plan) N: 5 781 520 GDA 94 | |

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| VESTING OF ROADS AND/OR RESERVES | NOTATIONS |
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|---|--|---|
| IDENTIFIER | COUNCIL/BODY/PERSON | LOTS 1 TO 1900 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. |
| ROAD R1 RESERVE No.1 RESERVE No.2 | CASEY CITY COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD MINISTER FOR ENERGY, ENVIRONMENT AND CLIMATE CHANGE | FOR RESTRICTION A AFFECTING LOTS 1901 TO 1945 (BOTH INCLUSIVE) SEE SHEET 4. FOR RESTRICTION B AFFECTING LOT 1938 SEE SHEET 4. FOR RESTRICTION C AFFECTING LOTS 1916 TO 1920 (BOTH INCLUSIVE) SEE SHEET 4. |


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| NOTATIONS | OTHER PURPOSE OF PLAN: |
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| DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. PlnA00824/19 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 68, 77 & 176 In Proclaimed Survey Area No. 71 Estate: Smiths Lane Phase No.: 19 No. of Lots: 45 + Lot N PHASE AREA: 8.397ha | OTHER PURPOSE OF PLAN: 1) TO REMOVE THAT PART OF SEWERAGE EASEMENT CREATED AS E-3 ON PS848720K CONTAINED WITHIN SALTCOATS ROAD ON THIS PLAN. 2) TO REMOVE THAT PART OF DRAINAGE EASEMENT CREATED AS E-29 ON PS846078S CONTAINED WITHIN HYDROGEN CIRCUIT AND HOMELY AVENUE ON THIS PLAN. GROUND FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988) |
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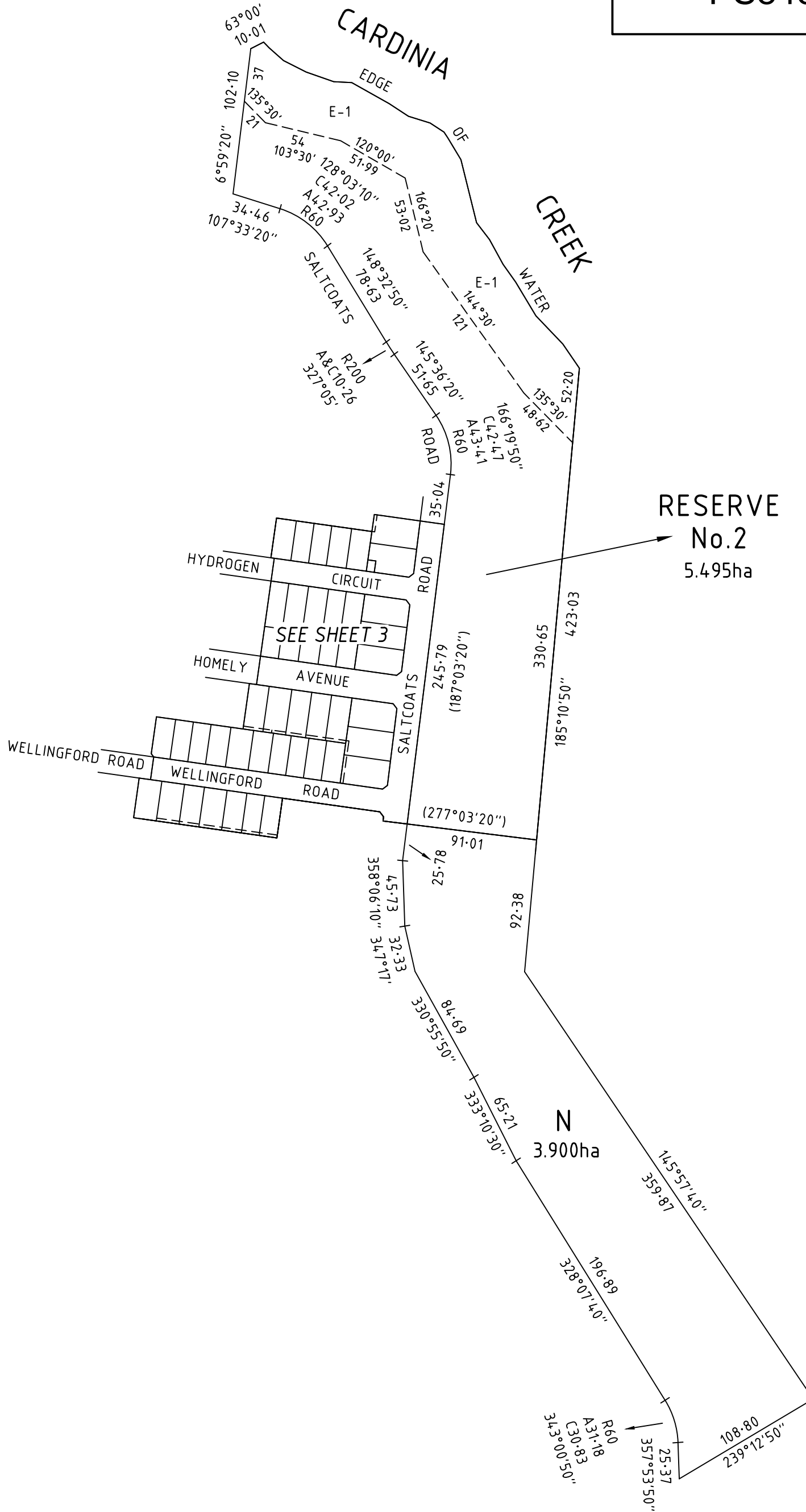
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| EASEMENT INFORMATION |
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LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

| Easement Reference | Purpose | Width (Metres) | Origin | Land Benefited/In Favour Of |
|--------------------|----------|----------------|-----------|-----------------------------|
| E-1 | DRAINAGE | SEE DIAG. | PS438755B | MELBOURNE WATER CORPORATION |
| E-2 | DRAINAGE | 2 | PS848720K | CASEY CITY COUNCIL |
| E-3 | DRAINAGE | 2 | THIS PLAN | CASEY CITY COUNCIL |
| E-29 | DRAINAGE | 2 | PS846078S | CASEY CITY COUNCIL |

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|--|--|-------------------------|--------------|
|  Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au | SURVEYORS FILE REF: 1101438/19 1101438-19-PS-V3.DWG | ORIGINAL SHEET SIZE: A3 | SHEET 1 OF 4 |
| | Digitally signed by: James Arthur Wiggins, Licensed Surveyor, Surveyor's Plan Version (3), 24/10/2022, SPEAR Ref: S175305E | | |

MGA94 ZONE 55



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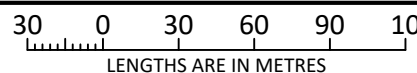
development & environment consultants

Melbourne ph : 03 9524 8888

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SURVEYORS REF
1101438/19

SCALE
1 : 3000



ORIGINAL SHEET
SIZE: A3

SHEET 2

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MGA94 ZONE 55



SALTCOATS ROAD
(49.33)
35.04 SEE SHEET 2

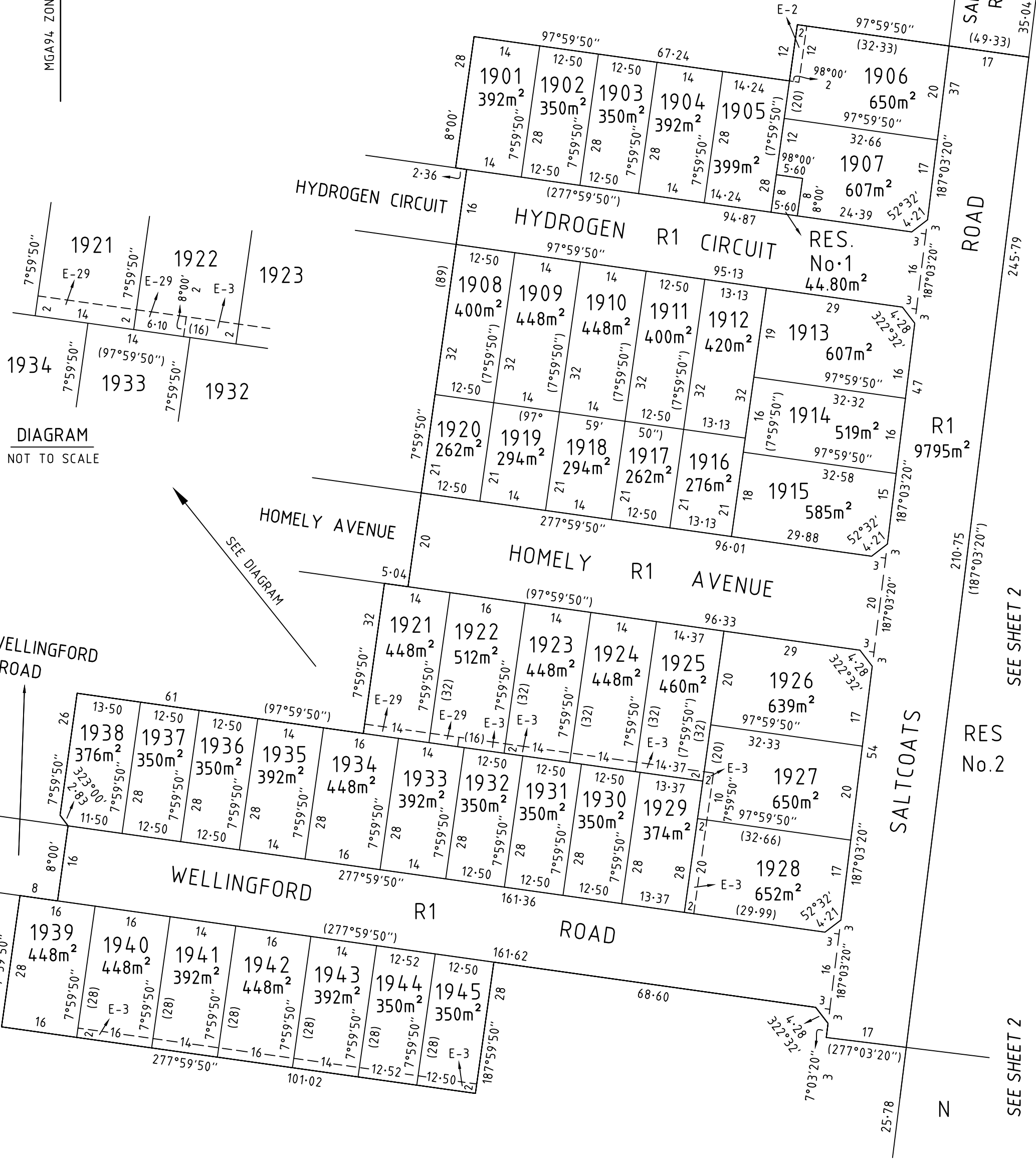


DIAGRAM
NOT TO SCALE

SEE DIAGRAM

SEE SHEET 2

SEE SHEET 2

WELLINGFORD ROAD

WELLINGFORD ROAD

HOMELY AVENUE

SALTCOATS ROAD

7°59'50"

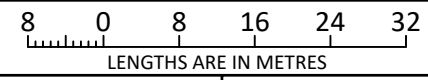
N

SEE SHEET 2

BW Beveridge Williams
development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS REF
1101438/19

SCALE
1 : 800



ORIGINAL SHEET
SIZE: A3

SHEET 3

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CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BE BURDENED: LOTS 1901 TO 1945 (BOTH INCLUSIVE)

LAND TO BE BENEFITED: LOTS 1901 TO 1945 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING, STRUCTURE OR FENCE OTHER THAN A BUILDING, STRUCTURE OR FENCE IN ACCORDANCE WITH THE DESIGN GUIDELINES ENDORSED BY THE CITY OF CASEY UNDER PLANNING PERMIT No. PlnA00824/19.

A COPY OF THE DESIGN GUIDELINES IS AVAILABLE UPON REQUEST AT WEBSITE <https://portal.smithslane.mirvac.com>

- 2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OUTSIDE THE BUILDING ENVELOPE APPLIED TO THE LOT ON THE BUILDING ENVELOPE PLAN ENDORSED UNDER PLANNING PERMIT No. PlnA00824/19.

A COPY OF THE BUILDING ENVELOPE PLAN IS AVAILABLE UPON REQUEST AT WEBSITE <https://portal.smithslane.mirvac.com>

- 3) CONSOLIDATE OR SEEK TO CONSOLIDATE ANY BURDENED LOT WITH ANOTHER LOT OR PART OF A LOT.

- 4) SUBDIVIDE OR SEEK TO SUBDIVIDE ANY BURDENED LOT.

VARIATION

ANY VARIATION TO BUILDING ENVELOPES OR CONSENT TO BUILD OUTSIDE ANY BUILDING ENVELOPE WILL REQUIRE APPROVAL FROM THE CITY OF CASEY.

EXPIRY DATE

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BE BURDENED: LOT 1938

LAND TO BE BENEFITED: LOTS 1901 TO 1945 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

EXCEPT WITH THE WRITTEN CONSENT OF MIRVAC AND IN ALL OTHER INSTANCES THE WRITTEN CONSENT OF EACH AND EVERY REGISTERED PROPRIETOR OF A BENEFITING LOT ON THE PLAN OF SUBDIVISION THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

DOUBLE STOREY CONSTRUCTION

- 1) BUILD OR ALLOW TO BE BUILT ON THE LOT A DWELLING HOUSE UNLESS IT IS TWO (2) STOREYS.

EXPIRY DATE

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION 'C'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BURDENED LAND.

LAND TO BE BURDENED: LOTS 1916 TO 1920 (BOTH INCLUSIVE)

LAND TO BE BENEFITED: LOTS 1901 TO 1945 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN SHALL NOT CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT IS IN ACCORDANCE WITH A "TYPE A" LOT UNDER THE SMALL LOT HOUSING CODE PURSUANT TO CLAUSE 72.04 OF THE CASEY PLANNING SCHEME.

EXPIRY DATE

THIS RESTRICTION SHALL CEASE TO HAVE EFFECT TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.



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ORIGINAL SHEET
SIZE: A3

SHEET 4