

LEGEND

- STORMWATER DRAIN, PIT & PROPERTY INLET
- MELBOURNE WATER DRAIN & PIT
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- SERVICE CONDUITS
- TACTILE PAVERS (INDICATIVE ONLY)
- ELECTRICITY (UNDERGROUND)
- ELECTRICITY (OVERHEAD)
- OPTIC FIBRE
- TELECOMMUNICATIONS
- GAS
- WATER
- RECYCLED WATER
- IRRIGATION
- EXISTING ELECTRICITY (UNDERGROUND)
- EXISTING ELECTRICITY (OVERHEAD)
- EXISTING GAS
- EXISTING OPTIC FIBRE
- EXISTING TELECOMMUNICATIONS
- EXISTING WATER
- EXISTING RECYCLED WATER
- EXISTING STORMWATER DRAIN
- EXISTING SEWER
- EXISTING HOUSE DRAIN
- EXISTING SWALE DRAIN
- EXISTING SURFACE LEVEL
- FINISHED BUILDING LINE LEVEL
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- RIDGE LINE
- RETAINING WALL
- ZERO LOT LINES
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX. STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FALL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FALL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY SURVEY MARK
- PROPOSED DRIVEWAY
- TREE PROTECTION ZONE (TPZ)
- LOT HATCHING
- PAVEMENT HATCHING
- PARK RESERVES/NATURE STRIP HATCHING
- ELECTRICAL KIOSK
- DRAINAGE RESERVE
- MAINTENANCE ACCESS TRACK
- DRY OUT AREA

- NOTES:**
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 - The depth of fill can be determined by calculating the depth between the existing and proposed finished surface levels.
 - Fill depths do not take into account any removal of topsoil, grubbing, or excavation associated with the construction of any temporary or permanent infrastructure within the subdivision.
 - The plan shows the indicative extent of fill greater than 200mm in depth. These extents may be subject to change during design and/or construction. Fill less than 200mm in depth is not shown on this plan.
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PRELIMINARY PRINT
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SERVICE OFFSET TABLE

Location	Gas		ND - Water		Water		Electricity		Telecommunication		Sewer	
	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)
CLARA DRIVE	S	2.00	S	2.60	S	3.30	N/S	2.60/4.00	N/S	1.85/4.50	S	1.00
CHAMPION STREET	E	2.25	E	2.70	E	3.20	W	2.60	W	1.85	W/E	1.00
STOVER ROAD	E	2.25	E	2.70	E	3.20	W	2.60	W	1.85	W	1.00
MORROW STREET	N	1.90	N	2.35	N	2.85	S	1.25	S	0.50	N	1.00

NOTE: STREET TREES ARE TO BE PLANTED IN THE CENTRE OF ALL NATURE STRIPS

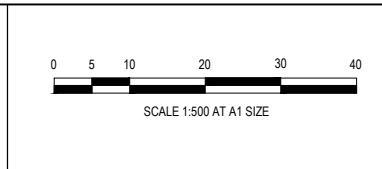
FOR CONTINUATION SEE SHEET 1101438-38-M02

ROAD LAYOUT TABLE

ROAD NAME	RESERVE WIDTH (m)	ROAD WIDTH (m)			VERGE WIDTH (m)	
		LIP to LIP	INV to INV	BACK to BACK	NORTHWEST	SOUTHEAST
CLARA DRIVE	24.00	6.40 (10.30)	7.30 (11.20)	7.60 (11.50)	8.50 (6.55)	7.90 (5.95)
CHAMPION STREET	16.00	6.40	7.30	7.60	4.05	4.35
STOVER ROAD	16.00	6.40	7.30	7.60	4.05	4.35
MORROW STREET	14.50	6.40	7.30	7.60	4.35	2.55

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	LOT 3831 DIMENSIONS AMENDED	22.10.21	YA	LM					
P4	CLARA DRIVE ROAD RESERVE AMENDED	21.10.21	YA	LM					
P3	DRAINAGE CONNECTIONS FOR LOTS 3862 - 3870 AMENDED	27.09.21	YA	LM					
P2	LOT LEVELS AMENDED	17.09.21	YA	LM	P7	UPDATED TO MATCH DETAILED DESIGN	05.05.23	LM	LM
P1	ISSUED FOR INFORMATION	07.09.21	YA	LM	P6	TOP OF WALL LEVELS AMENDED ALONG STAGE 39 BOUNDARY	15.03.23	LM	LM



Designed Date: C.DAWSON 06.09.2021
 Drawn: C.DAWSON
 Approved Date: L.MURRAY 06.09.2021
 PS Number: PS904401S

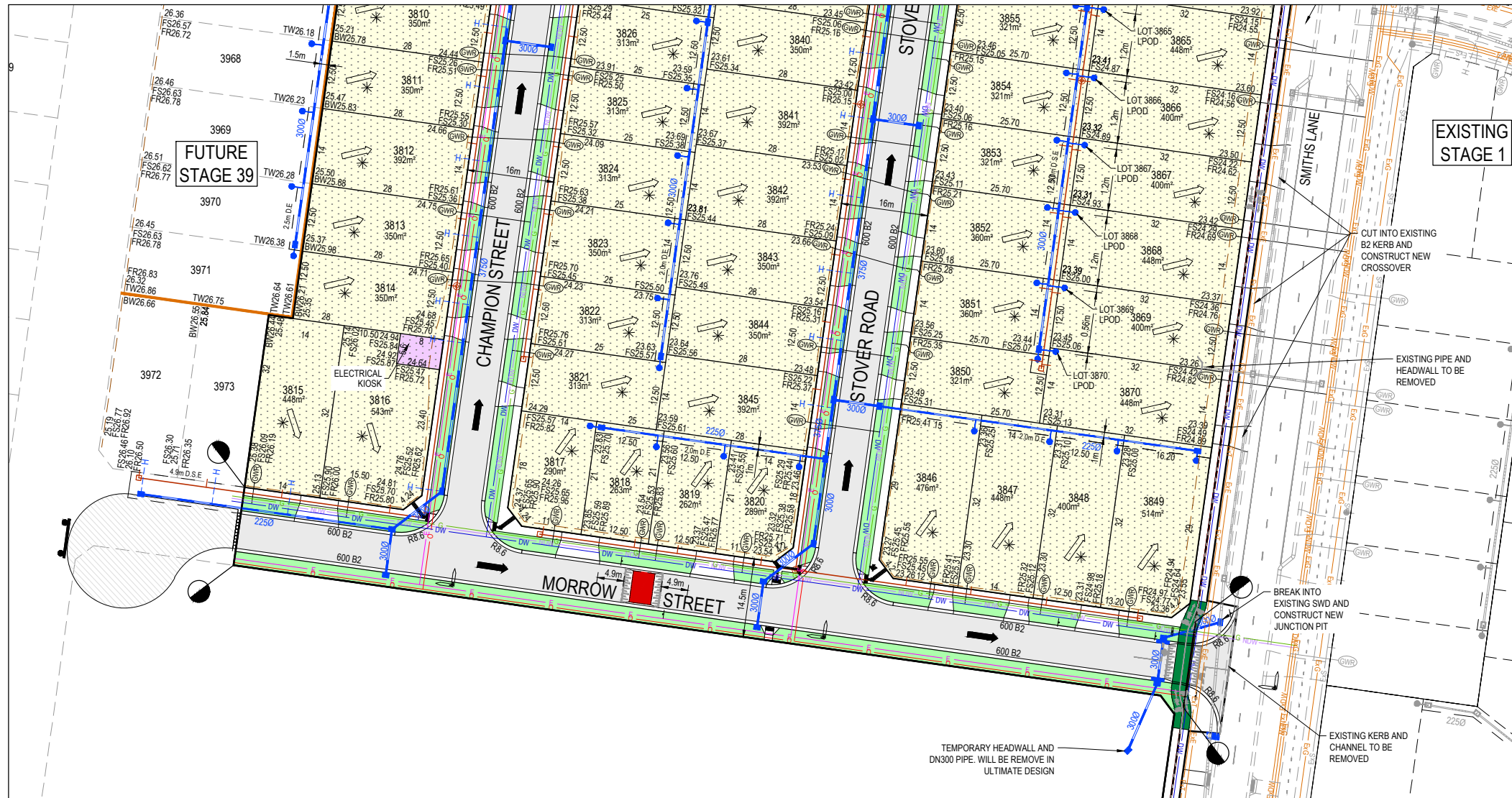


Project Details: SMITHS LANE STAGE 38 CITY OF CASEY
 Drawing Title: MARKETING PLAN SHEET 1 OF 2

Sheet 01 of 03
 Scale: 1:500 @ A1
 Project Ref: 1101438 Stage No: 38 Drawing No: M01 Rev: P7

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FOR CONTINUATION SEE SHEET 1101438-38-M01



LEGEND

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MORROW STREET	14.50	6.40	7.30	7.60	4.35	2.55

NOTE: DIMENSIONS IN PARENTHESES INCLUDES PARKING LANE

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	TOP OF WALL LEVELS AMENDED ALONG STAGE 39 BOUNDARY	15.03.23	LM	LM					
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P1	ISSUED FOR INFORMATION	07.09.22	YA	LM	P6	UPDATED TO MATCH DETAILED DESIGN	05.05.23	LM	LM

SMITHS LANE
 CLYDE NORTH

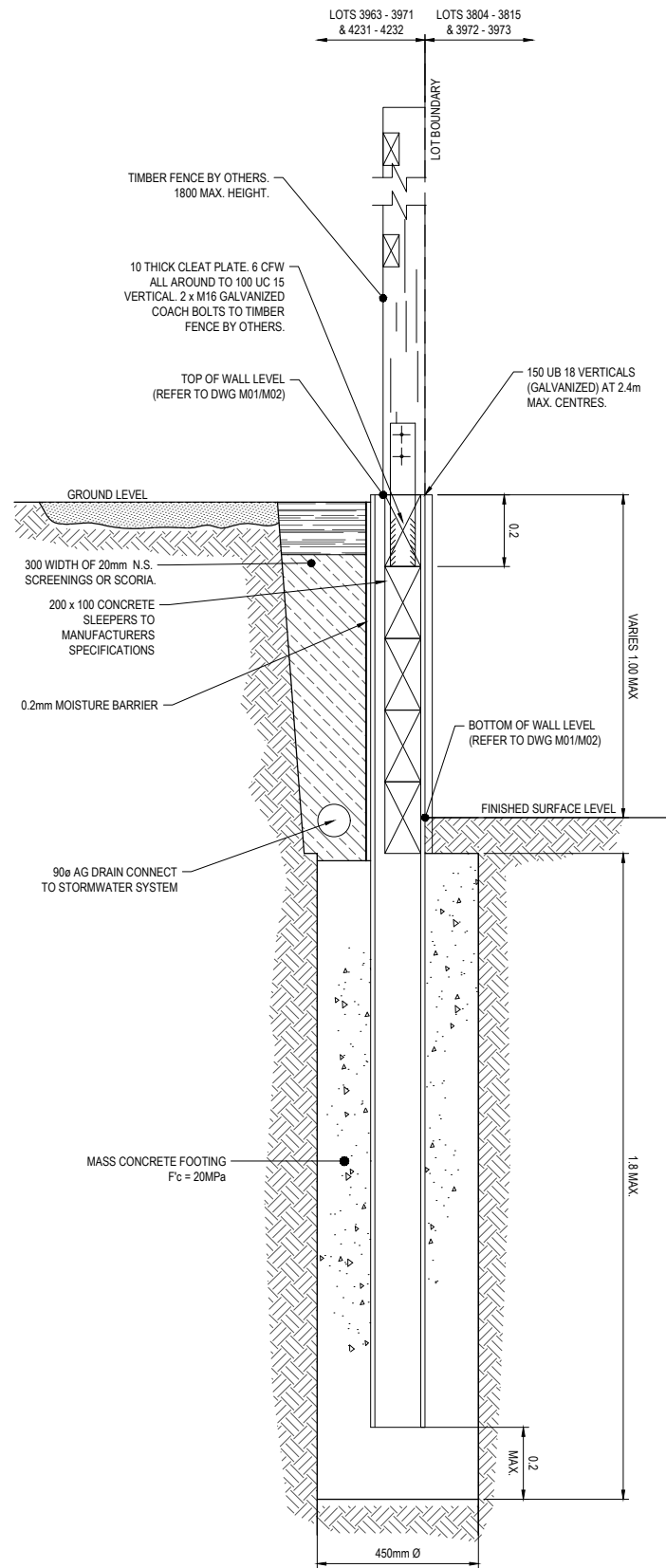
SCALE 1:500 AT A1 SIZE

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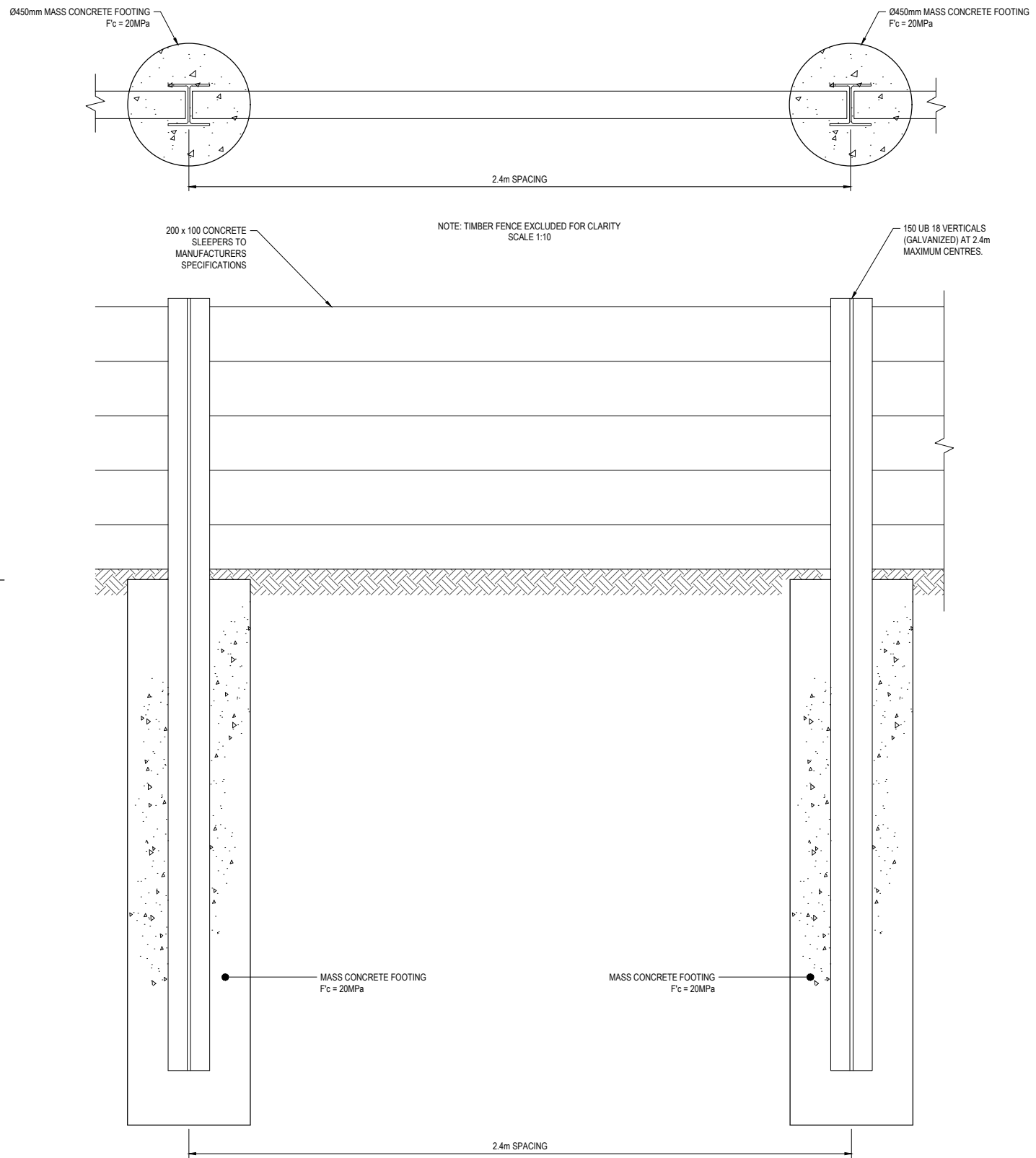
BW Beveridge Williams
 1 Glenferrie Road
 Malvern VIC 3144
 ph: 03 9524 8888
 www.beveridgewilliams.com.au

Project Details: SMITHS LANE STAGE 38 CITY OF CASEY
 Drawing Title: MARKETING PLAN SHEET 2 OF 2

Sheet 02 of 03
 Scale: 1:500 @ A1
 Project Ref: 1101438 Stage No: 38 Drawing No: M02 Rev: P6



RETAINING HEIGHT - 1000mm MAXIMUM
SCALE 1:10



RETAINING HEIGHT - 1000mm MAXIMUM
NOTE: TIMBER FENCE EXCLUDED FOR CLARITY
SCALE 1:10

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SMITHS LANE
CLYDE NORTH



Designed
Date
C.DAWSON
06.09.2021

Drawn
C.DAWSON

Approved
Date
L.MURRAY
06.09.2021

PS Number
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Malvern VIC 3144
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Project
Details
SMITHS LANE
STAGE 38
CITY OF CASEY

Drawing
Title
RETAINING WALL DETAIL

Sheet 03 of 03

Scale
AS SHOWN

Project Ref
1101438

Stage No
38

Drawing No
M03

Rev
P5

