



**LEGEND**

- STORMWATER DRAIN, PIT & PROPERTY INLET
- MELBOURNE WATER DRAIN & PIT
- SWALE DRAIN
- SEWER & MAINTENANCE STRUCTURES
- HOUSE DRAIN
- SERVICE CONDUITS
- TACTILE PAVERS (INDICATIVE ONLY)
- ELECTRICITY (UNDERGROUND)
- ELECTRICITY (OVERHEAD)
- TELECOMMUNICATIONS
- GAS
- WATER
- RECYCLED WATER
- IRRIGATION
- EXISTING ELECTRICITY (UNDERGROUND)
- EXISTING ELECTRICITY (OVERHEAD)
- EXISTING GAS
- EXISTING OPTIC FIBRE
- EXISTING TELECOMMUNICATIONS
- EXISTING WATER
- EXISTING RECYCLED WATER
- EXISTING STORMWATER DRAIN
- EXISTING SEWER
- EXISTING HOUSE DRAIN
- EXISTING SWALE DRAIN
- EXISTING SURFACE LEVEL
- FINISHED BUILDING LINE LEVEL
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- RIDGE LINE
- RETAINING WALL
- ZERO LOT LINES
- PAVEMENT TREATMENT
- STRUCTURAL FILL > 200mm DEEP
- EX. STRUCTURAL FILL > 200mm DEEP
- DIRECTION OF FALL
- OVERLAND FLOW
- ALLOTMENT TO BE GRADED EVENLY IN DIRECTION OF FALL TO LEVELS INDICATED
- CONCRETE EDGE STRIP WITH SUBSOIL DRAIN, "NO ROAD" SIGN & BARRIER
- LIMIT OF WORKS
- EXISTING TREE TO BE REMOVED
- PERMANENT SURVEY MARK
- TEMPORARY SURVEY MARK
- PROPOSED DRIVEWAY
- TREE PROTECTION ZONE (TPZ)
- LOT HATCHING
- PAVEMENT HATCHING
- PARK RESERVES/NATURE STRIP HATCHING
- ELECTRICAL KIOSK
- DRAINAGE RESERVE
- MAINTENANCE ACCESS TRACK
- DRY OUT AREA

- NOTES:**
1. These plans are preliminary only and have not been approved by Council. They are subject to change without notice and have been provided as a guide only.
  2. This plan must be read in conjunction with the Plan of Subdivision. If any discrepancies are identified between the two plans, the Plan of Subdivision takes precedence.
  3. Proposed services and connection points shown are preliminary only and subject to authority advice and approval. Vehicle crossing locations shown are subject to Council approval.
  4. Finished surface levels shown are preliminary only and may be subject to change during design and/or construction.
  5. The depth of fill can be determined by calculating the depth between the existing and proposed finished surface levels.
  6. Fill depths do not take into account any removal of topsoil, grubbing, or excavation associated with the construction of any temporary or permanent infrastructure within the subdivision.
  7. The plan shows the indicative extent of fill greater than 200mm in depth. These extents may be subject to change during design and/or construction. Fill less than 200mm in depth is not shown on this plan.
  8. The fill depth shown on this plan is for fill placed during construction of the subdivision whilst the site is under the control of Beveridge Williams & Co Pty Ltd. Beveridge Williams & Co Pty Ltd has no further knowledge or records of any other filling works throughout this subdivision, including prior to the survey being undertaken, or after the completion of construction.
  9. Beveridge Williams & Co Pty Ltd will not be liable for any loss or damages incurred or suffered by any party due to the use of the plan or relying on the information contained within the plan.

FOR CONTINUATION SEE SHEET 1101438-39-M02

**ROAD LAYOUT TABLE**

ROAD NAME	RESERVE WIDTH (m)	ROAD WIDTH (m)			VERGE WIDTH (m)	
		LIP to LIP	INV to INV	BACK to BACK	NORTH/WEST	SOUTH/EAST
WILLYE ROAD	16.00	6.40	7.30	7.60	4.35	4.05
AUTY WAY	16.00	6.40	7.30	7.60	4.35	4.05
GIPPSLAND PARADE	16.00/14.50	6.40	7.30	7.60	4.35	4.05/2.55
MORROW STREET	14.50	6.40	7.30	7.60	4.35	2.55
WEBSTER STREET	16.00	6.40	7.30	7.60	4.05	4.35
MARQUESS CRESCENT	16.00	6.40	7.30	7.60	4.35	4.05
GULING RISE	16.00	6.40	7.30	7.60	4.35	4.05

**SERVICE OFFSET TABLE**

Location	Gas		ND - Water		Water		Electricity		Telecommunication		Sewer	
	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)
WILLYE ROAD	N	2.25	N	2.70	N	3.20	S	2.60	S	1.85	N/S	1.00
AUTY WAY	N	2.25	N	2.70	N	3.20	S	2.60	S	1.85	N/S	1.00
GIPPSLAND AVENUE	W	1.90	W	2.35	W	2.85	E	2.60/1.25	E	1.85/0.50	E/W	1.00
MORROW STREET	N	1.90	N	2.35	N	2.85	S	1.25	S	0.50	N/S	1.00
WEBSTER STREET	E	2.25	E	2.70	E	3.20	W	2.60	W	1.85	E/W	1.00
MARQUESS CRESCENT	N	2.25	N	2.70	N	3.20	S	2.60	S	1.85	N/S	1.00
GULING RISE	N	2.25	N	2.70	N	3.20	S	2.60	S	1.85	N/S	1.00

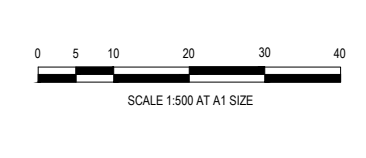
NOTE: STREET TREES ARE TO BE PLANTED IN THE CENTRE OF ALL NATURE STRIPS

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	LOT 3969 CROSSOVER AND RETAINING WALL LEVELS AMENDED	05.10.23	LM	SY					
P4	TOP OF WALL LEVELS AMENDED ALONG STAGE 38 BOUNDARY	15.03.23	LM	LM					
P3	CROSSOVER AMENDED FOR LOT 3905	21.12.21	LM	LM					
P2	TW LEVEL AMENDED FOR LOT 3964/3965	25.11.21	LM	LM					
P1	ISSUED FOR INFORMATION	28.10.2021	YA	LM					



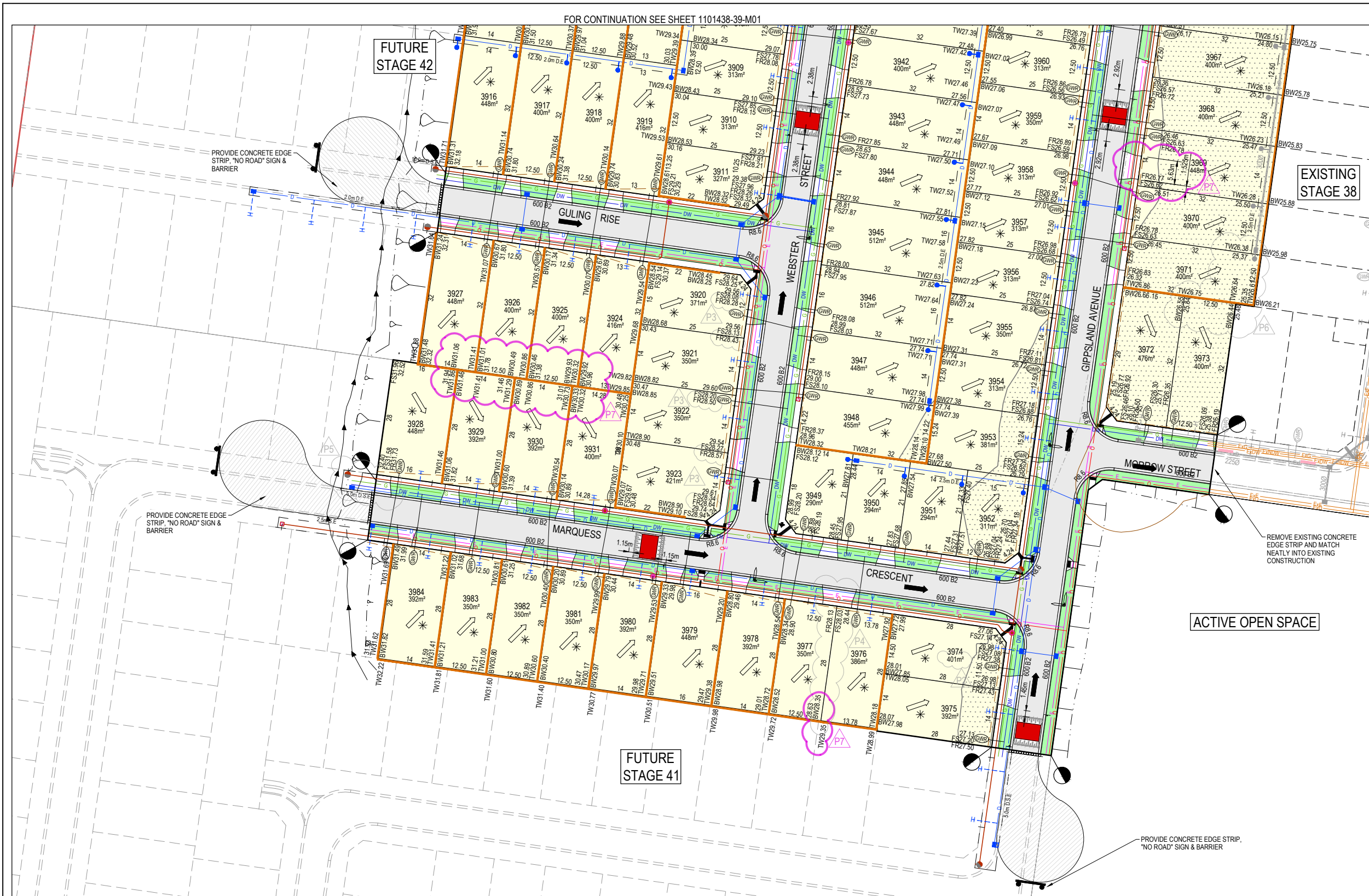
Designed Date: Y.ALI-BAKHIT 28.10.2021  
 Drawn: Y.ALI-BAKHIT  
 Approved Date: L.MURRAY 28.10.2021  
 PS Number: P5904411P



Project Details: SMITHS LANE STAGE 39 CITY OF CASEY, R5833  
 Drawing Title: MARKETING PLAN SHEET 1 OF 2

Sheet 01 of 03  
 Scale: 1:500 @ A1  
 Project Ref: 1101438 Stage No: 39 Drawing No: M01 Rev: P5

FOR CONTINUATION SEE SHEET 1101438-39-M01



**LEGEND**

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**SERVICE OFFSET TABLE**

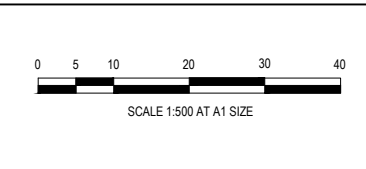
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		Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	
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AUTY WAY	N	2.25	N	2.70	N	3.20	S	2.60	S	1.85	N/S	1.00	
GIPPSLAND AVENUE	W	1.90	W	2.35	W	2.85	E	2.60/1.25	E	1.85/0.50	EW	1.00	
MORROW STREET	N	1.90	N	2.35	N	2.85	S	1.25	S	0.50	N/S	1.00	
WEBSTER STREET	E	2.25	E	2.70	E	3.20	W	2.60	W	1.85	EW	1.00	
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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	LOT 3928 CROSSOVER, PIT AND MH AMENDED	30.06.22	BP	LM					
P4	LOT 3977 CROSSOVER CHANGE	24.02.22	CD	LM					
P3	RIDGE LABEL AMENDED FOR LOTS 3920 - 3923	23.11.21	LM	LM					
P2	LOT 3974 AREA AMENDED	11.11.21	LM	LM	P7	RETAINING WALL LEVELS AMENDED	05.10.23	LM	SY
P1	ISSUED FOR INFORMATION	28.10.2021	YA	LM	P6	TOP OF WALL LEVELS AMENDED ALONG STAGE 38 BOUNDARY	15.03.23	LM	LM

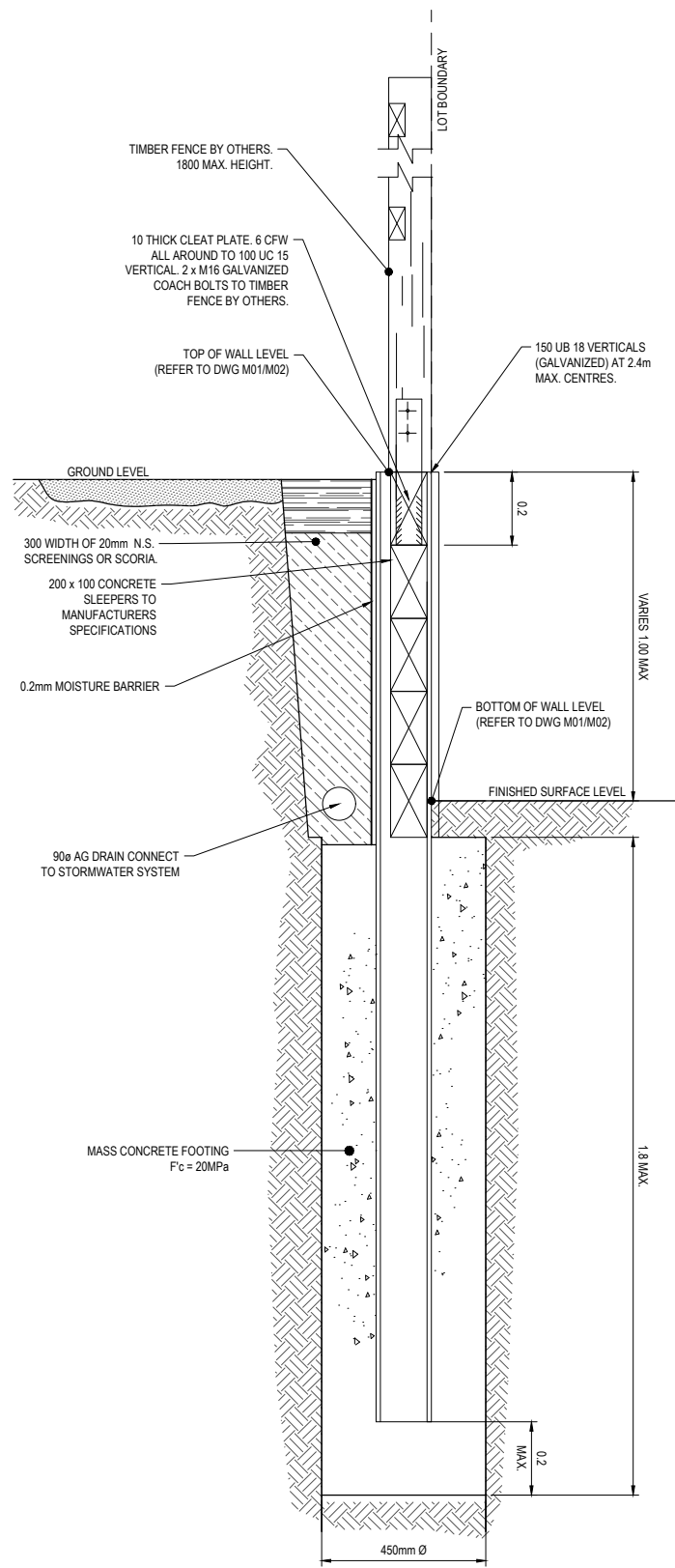


Designed By: Y.ALI-BAKHIT  
 Date: 28.10.2021  
 Drawn By: Y.ALI-BAKHIT  
 Approved By: L.MURRAY  
 Date: 28.10.2021  
 PS Number: PS904411P

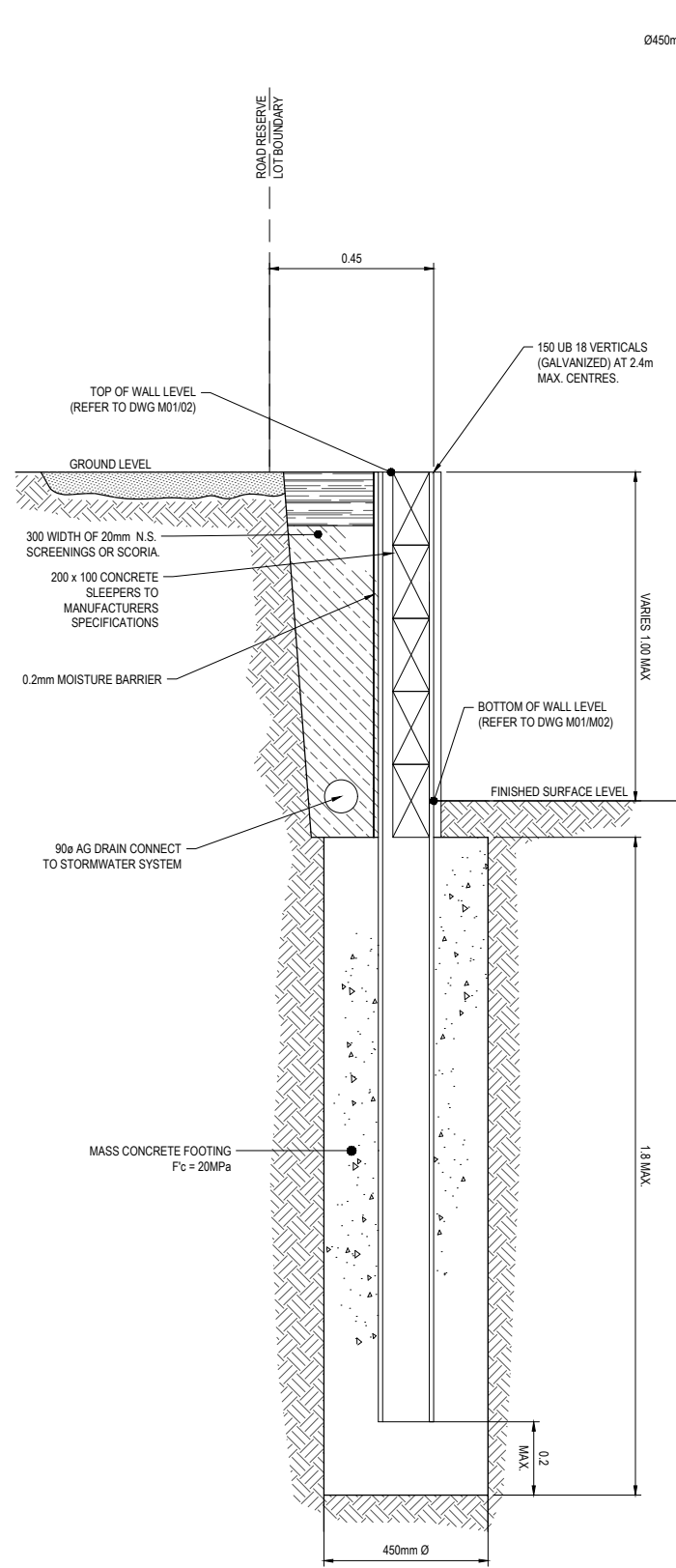
**BW Beveridge Williams**  
 1 Glenferrie Road  
 Malvern VIC 3144  
 ph: 03 9524 8888  
 www.beveridgewilliams.com.au

Project Details: SMITHS LANE STAGE 39 CITY OF CASEY, R5833  
 Drawing Title: MARKETING PLAN SHEET 2 OF 2

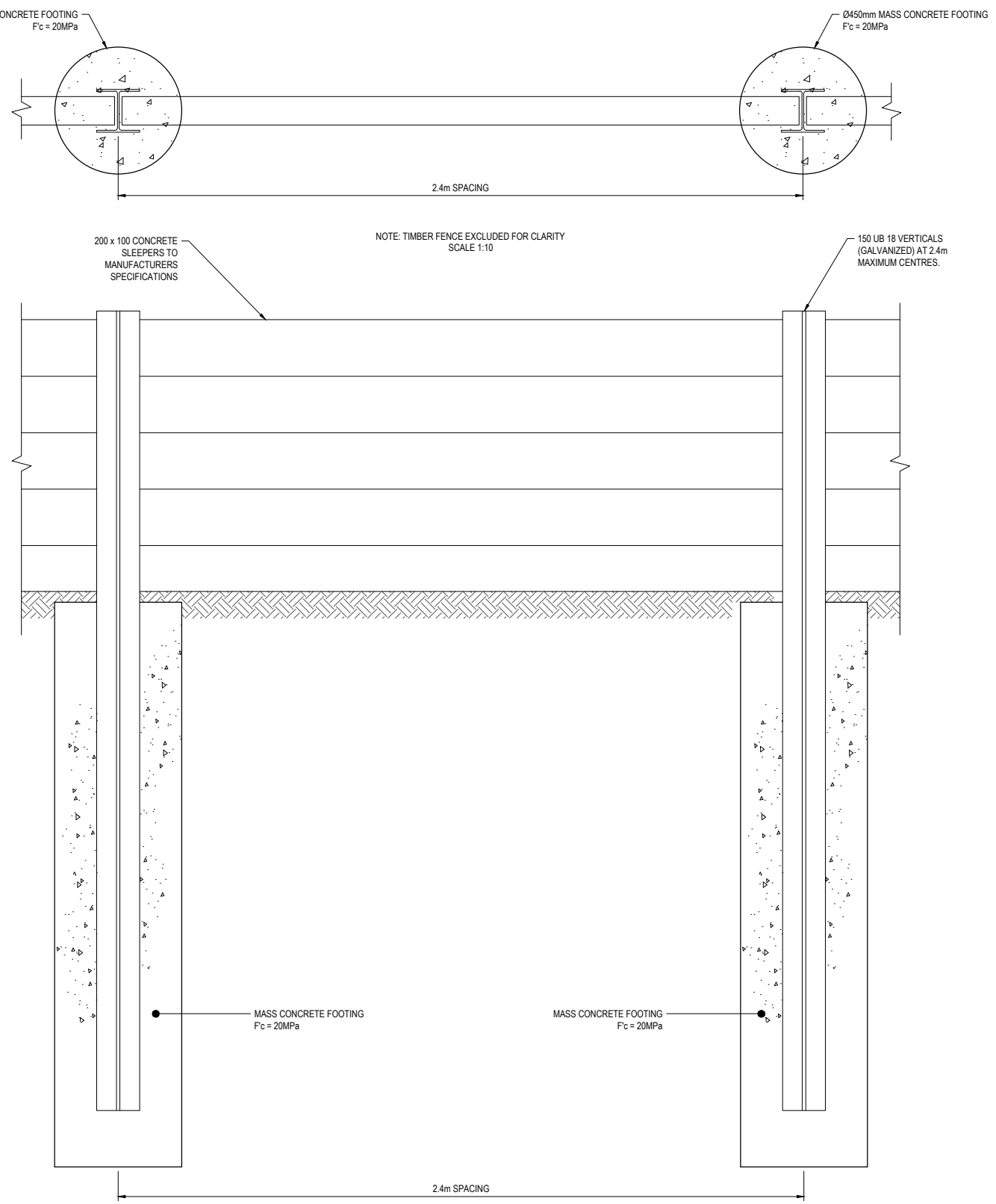
Sheet 02 of 03  
 Scale: 1:500 @ A1  
 Project Ref: 1101438 Stage No: 39 Drawing No: M02 Rev: P7



**TYPICAL RETAINING WALL SECTION  
REAR AND SIDE LOTS**  
RETAINING HEIGHT - 1000mm MAXIMUM  
SCALE 1:10



**TYPICAL RETAINING WALL SECTION  
REAR AND SIDE LOTS**  
RETAINING HEIGHT - 1000mm MAXIMUM  
SCALE 1:10



**TYPICAL RETAINING WALL ELEVATION**  
RETAINING HEIGHT - 1000mm MAXIMUM  
NOTE: TIMBER FENCE EXCLUDED FOR CLARITY  
SCALE 1:10

NOTE: DETAIL FOR RETAINING WALLS  
GREATER THAN 1000mm TO BE  
PROVIDED AT LATER DATE

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P1	ISSUED FOR INFORMATION	28.10.2021	YA	LM		
REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION



Designed  
Date  
Drawn  
Approved  
Date  
PS Number

Y.ALI-BAKHIT  
28.10.2021  
Y.ALI-BAKHIT  
L.MURRAY  
28.10.2021  
PSS04411P



Project  
Details  
Scale  
Drawing  
Title

SMITHS LANE  
STAGE 39  
CITY OF CASEY, R5833  
RETAINING WALL DETAIL

Sheet 03 of 03  
AS SHOWN  
Project Ref  
Stage No  
Drawing No  
Rev

1101438 39 M03 P1

